

DATE: August 14, 2019

SUBJECT:

<u>Certificate of Appropriateness Request:</u>	H-17-19
<u>Applicant/Owner:</u>	Don Duffy Architecture/Jason & Holly Cagle
<u>Location of subject property:</u>	122 Union St. N.
<u>Staff Report prepared by:</u>	Starla Rogers, Planning & Development Mgr.

BACKGROUND:

- The subject property is site of a “Pivotal” structure and is located in the North Union Street Historic District. (Exhibit A)
- Date of construction: ca. 1880
- “Unusual, two-story, brick Italianate residence with later Colonial Revival features.”
- Applicant is seeking to 1) connect two separate basement/crawlspace areas, 2) add building code compliant staircase and powder room to first floor modifying the front suite entryway, 3) add new rear covered porch, terrace, patio, and modify the driveway as well as 4) garage modifications.

DISCUSSION:

Photographs of the existing site and a materials sheet have been included in the Commission’s packets.

Basement/Crawlspace – The applicant has requested to remove several interior walls within the home’s basement/crawlspace so that it is more easily accessible (this does not require HPC review and approval). As shown and highlighted on site plan sheet “D1.1,” this would require enclosing two crawlspace access points and an abandoned staircase. The openings would be enclosed with brick to match the structure. A new basement/crawlspace point of access is proposed as shown on the same site plan sheet and is indicated as an exterior areaway adjacent to the proposed new porch. There will be a new exterior wood door equal to Kolbe&Kolbe Heritage Series WXD3068.

Porch, Terrace, and Patio – As shown on demolition plan sheet “D1.1,”the applicant proposes to demolish the existing pool patio and screen porch/deck area to accommodate a new screen porch, patio, walkways, stepping stone path, raised terrace and brick planters.

The new covered porch would be +/- 363sf. (under roof). Siding proposed for the new addition would be brick to match the existing residence. Wood framed sashes containing screen are proposed along the perimeter of the covered porch (‘3’ along the west, ‘4’ along the north and ‘2’ along the east sides). A brick veneer, raised planting bed, is also shown on this side of the porch, wrapping around to the southeast side, connecting with the new raised terrace. The southernmost side of the new porch would feature a screen door. The door would step down to a +/- 150sf raised brick terrace. A 42in tall wall would surround the perimeter of the raised terrace, consisting of brick and soldier course cap to match the raised planter wall.

The raised terrace would step down to a bluestone, brick bordered, patio that connects to the existing pool. The patio square footage is +/- 140sf. New walkways are proposed to connect to the patio and existing walkways. Additionally, a stepping stone pathway is proposed adjacent to the southeast of the raised terrace.

The covered porch is shown to have two roofing options on elevation sheet A2.2. One option would consist of a hip style standing seam. The second option is shown to be a low-pitched (1/2":12" pitch) roof concealed behind 'decorative' paneled wood framed parapet.

Exterior Steps and Screen Wall – Brick steps and a wrought iron handrail are proposed on the northwest side of the new porch, accessing the modified basement/crawlspace. A masonry screen wall is proposed on the north rear corner of the home, in order to shield the relocated HVAC and pool equipment.

Detached Garage Modifications – The applicant proposes to remove and replace the two existing garage doors as shown on sheet "D1.1," with 7x10ft Western Red Cedar carriage style garage doors. A pedestrian entry door is proposed on the left building wall elevation with an extended roof overhang, upheld by cedar wood trellis on decorative wooden brackets. A wooden staircase is proposed on the rear side of the detached garage in order to access the second floor attic storage. Stairs are permitted to be located within the setback. A 36in wooden door is proposed for second floor access to the attic. The same style trellis, upheld by decorative brackets, is proposed over the front facing garage door. As the subject trellis is located beneath the gable, no roof overhang is proposed. A new 1 over 1 wooden window is proposed in the front garage gable.

Driveway- The existing stone/gravel drive extension is proposed to be converted to an 'exposed aggregate' concrete drive/motor court. Its existing configuration, which extends past the detached garage toward the rear property line in order to provide access to the vehicular side garage door, is to be maintained.

Front Side Suite Entry – As shown on demolition plan sheet "D1.1" and elevation sheet "A2.1," the applicant proposes to remove the existing shed roof and columns over the side suite entry door to be replaced with a zinc standing seam canopy with black iron brackets. A new black wrought iron handrail is proposed along the stairs leading to this entry.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory—Nomination Form

Exhibit B: Application for Certificate of Appropriateness

Exhibit C: Site Plan, Demolition Plan, Elevations, Images, Materials

Exhibit D: Materials List

Exhibit E: Comparison Document

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS:

Chapter 5 – Section 2: New Addition Construction

- *Over time buildings change to accommodate changing needs and lifestyles. When making an alteration to a historic building the challenge is to balance the individual property owner's need with the community's intent to maintain architectural integrity. Wherever possible, new additions to buildings shall be done in such a manner that if they were to be removed in the future, the essential form and integrity of the original building would not be impaired. New addition design for historic structures shall be compatible with the size, scale, color, material and character of the neighborhood, the building and its environment. Although designed to be compatible with the historic building, an addition should be discernible from the original building.*

- *Site new additions as inconspicuously as possible, preferably on rear elevations and where historic character defining features are not damaged, destroyed, or obscured.*
- *Windows in additions should be similar to those in the original buildings in their proportions, spacing, and materials.*
- *Select exterior surface siding and details that are compatible with the existing building in material, texture, color, and character.*

Chapter 5 – Section 5: Fenestrations

- *Alteration in door and window openings, especially on the principal facade, should be avoided whenever possible, except as a restorative measure to return an opening to its original size. New openings should be located in areas where they are not visible from the street or in areas where they are compatible with the original design.*

Chapter 5 – Section 6: Porches

- *The enclosure of original porches, particularly front porches, should be avoided. Enclosing original side and rear porches with solid walls should also be avoided. However, their conversion to “sun parlors” may be appropriate in some instances. Windows in these enclosures should be smaller, multi-paned, and compatible with existing windows. Larger expanses of glass are not appropriate.*
- *Porches which are original or are compatible with the design of the structure should be retained. Replacement of original wooden porch columns with metal substitutes should be avoided.*
- *Alterations to original porches that have no historic basis are not appropriate.*

Chapter 5 – Section 6: Roofing

- *New construction should avoid A-frame, dome, shed and flat-alone roof shapes.*
- *Original roof material should be maintained and/or replaced with like roofing if possible.*

Chapter 5 – Section 6: Fences and Walls

- *Where walls are concerned, natural stone or brick-masonry walls are encouraged and should not be coated or painted. The type and color of stone and masonry should respond to the historic nature of the property. The transparency or openings in the walls will be considered on an individual basis.*

Chapter 5 – Section 6: Driveways, Walkways and Parking

- *Gravel and pavement are acceptable materials for driveways, as are some alternative materials such as cobblestone, brick, and pervious pavers.*
- *Excessive expanses of paving should be avoided.*
- *New walkways should consist of appropriate natural material including gravel, concrete, stone, brick or pervious pavers. Walkways should avoid prefabricated and imprinted stepping stones within front yards.*

Chapter 5 – Section 12: Mechanical and Incidental Equipment

- *Place mechanical equipment in areas which utilize existing features such as fences, walls, and landscaping to screen their view.*

RECOMMENDATION:

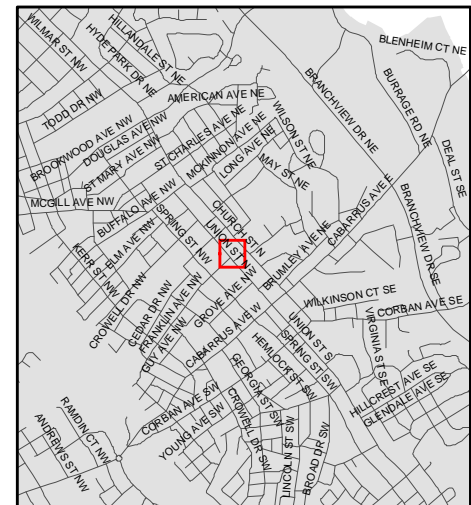
1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and Guidelines and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.



H-17-19

122 Union St N

PIN: 5620-79-9327



Source: City of Concord
Planning Department

Disclaimer

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only

received

date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street
Historic District, Concord

#7

27

Italianate houses in Concord, which display trim typical of the style but retain a horizontal quality reflecting the traditional house forms of the North Carolina piedmont, the main block of the house has a tall, narrow form not unlike the Italianate townhouses then being built in cities of the northeast. One-story wings on both sides of the house, however, make possible a spacious first floor plan. House retains much of its Italianate exterior trim, including a paneled frieze with a sawnwork border and intricately sawn brackets. The porch, supported by thick brick piers, was the major element of a remodeling of the house undertaken in the 1920s.

James William Cannon, about whom there is additional discussion in the essay on the district's significance, lived in this house until 1899, when he erected the house at 65 North Union Street, and sold this property to Amanda Boger, the wife of farmer and businessman Martin Boger (1844-1921). After Boger's death the house passed to his daughter, Pearl Boger Lafferty, the wife of pharmacist Parks Lafferty, who had the house remodeled during the 1920s.

25. I.I. Davis House
118 North Union Street
ca. 1916 (SM)
C

One-and-a-half-story, frame, Colonial Revival house with gambrel roof. House has broad, one-bay, pedimented portico with Tuscan columns and board, pedimented dormer with four windows. Windows have 9/1 sash; round-headed windows light attic on both sides of house. I.I. Davis was Assistant Secretary-Treasurer to the Hartsell Mills Company

26. William J. Hill House
116 North Union Street
1906
C

Two-story, frame house with Queen Anne and Colonial Revival elements, recently rescued from a long period of neglect. Main block has side gable roof; north (left) facade bay projects forward and has gable-front roof. Front and side gables have fish scale shingles and dentil trim. Wrap-around porch with Tuscan columns, pediment over entrance bay, and balustrade. William J. Hill was the founder and president of W.J. Hill Company.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

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date entered

Continuation sheet	Item number	Page
<u>Inventory List - North Union Street Historic District, Concord</u>	#7	28

27. J. Archibald Cannon House
108 North Union Street
1912 (AWB)
C

Handsome, two-story, frame Colonial Revival residence designed by Charlotte architect Louis H. Asbury. House follows center-hall, double-pile plan and has hip roof with centrally placed hip-roofed dormer. Full facade porch with balustrade and paired Tuscan columns; center bay of porch projects slightly forward. Adjoining porch to north is sunroom with latticed sash windows typical of the bungalow style. Porte-cochere also supported by paired Tuscan columns, on north side of house. House is one of five in district designed by Asbury (see #s 26,47,64 and 114). J. Archibald Cannon was a relative of James William Cannon and owned a Concord Lumber Company.

28. David Franklin Cannon House
100 N. Union Street
Late Nineteenth Century, remodeled 1911 (AWB)
P

Two-story, frame house originally Italianate in character, but thoroughly remodeled in Colonial Revival style according to plans prepared by Charlotte architect Louis H. Asbury in 1911. House has hip-roofed main block with gable-roofed facade dormer. Wrap-around porch has paired Tuscan columns on paneled bases, a balustrade, and a broad frieze with a dentil molding; the porte-cochere on the south side of the house has similar details. The exterior shows no trace of the house's original Italianate character, but much of the Italianate trim remains intact inside the house.

David Franklin Cannon (1844-1904) was the older brother of James William Cannon. By the end of the 1870s the Cannon brothers had joined with John W. Wadsworth and P.B. Fetzer (#184) to form Cannons and Fetzer, which was Concord's largest and most successful mercantile firm during the late nineteenth century. David Cannon's heirs commissioned Asbury to remodel the house; in 1921 Cannon's daughter sold it to Edward Souvaine, who was Assistant Secretary-Treasurer of Cabarrus Mills and Secretary-Treasurer of Ritchie Hardware Company.



AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: Kraig Magas, AIA (Don Duffy Architecture)
Address: 301 Providence Road
City: Charlotte State: NC Zip Code: 28207 Telephone: (office#: 704.358.1878)

OWNER INFORMATION

Name: Jason Cagle & Holly Griffin
Address: 122 Union Street, North
City: Concord State: NC Zip Code: 28025 Telephone: Jason (cell#: 704.956.3821)
Holly (cell#: 704.956.6225)

SUBJECT PROPERTY

Street Address: 122 Union Street, North P.I.N.# 56207993270000
Parcel ID#: 5620-79-9327
Area (acres or square feet): .55 acres Current Zoning: RM-1 (per Concord Land Use: Single-Family Residential
GIS webpage)

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Basement Renovation (Connect '2' separate existing basements/crawlspaces together and condition), 1st Floor Renovation (new 'building code compliant basement stair & new powder room), 1st Floor Addition (new rear covered porch with new raised terrace & new patio) and existing garage upfit (with new rear exterior stair to attic).

2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):

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Required Attachments/Submittals

1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a “before” perspective
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an “after” perspective.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

Applications may be submitted electronically.

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City’s historic districts inventory database.

July 17, 2019

 Date

Kraig Magas, AIA on behalf of Jason Cagle & Holly Griffin

 Signature of Owner/Agent

Cagle-Griffin Residence

(Concord, NC)



(New Porch Addition - Rear/Right House Perspective)



(New Porch Addition - Rear/Left House Perspective)

SHEET INDEX	
ID	Name
CS1.1	COVER SHEET
CV1.1	SITE PLAN
DI.1	'DEMOLITION' FLOOR PLANS
A1.0	NEW 'PARTIAL' BASEMENT PLAN
A1.1	NEW 'PARTIAL' FIRST FLOOR PLAN
A2.1	NEW EXTERIOR ELEVATIONS
A2.2	NEW EXTERIOR ELEVATIONS
A2.3	NEW GARAGE EXTERIOR ELEVATIONS
A2.4	NEW EXTERIOR 3D PERSPECTIVES
EX1.1	EXISTING PHOTOS
EX1.2	EXISTING PHOTOS
HFCL.1	MATERIALS BOARD

Cagle-Griffin Residence
122 Union Street North
Concord, NC

'Concord Historic
Preservation
Commission'
Submittal

PRELIMINARY
NOT FOR CONSTRUCTION

DonDuffy
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301 Providence Rd
Charlotte, NC 28207
(p) 704 - 358 - 1878
www.donduffyarchitecture.com

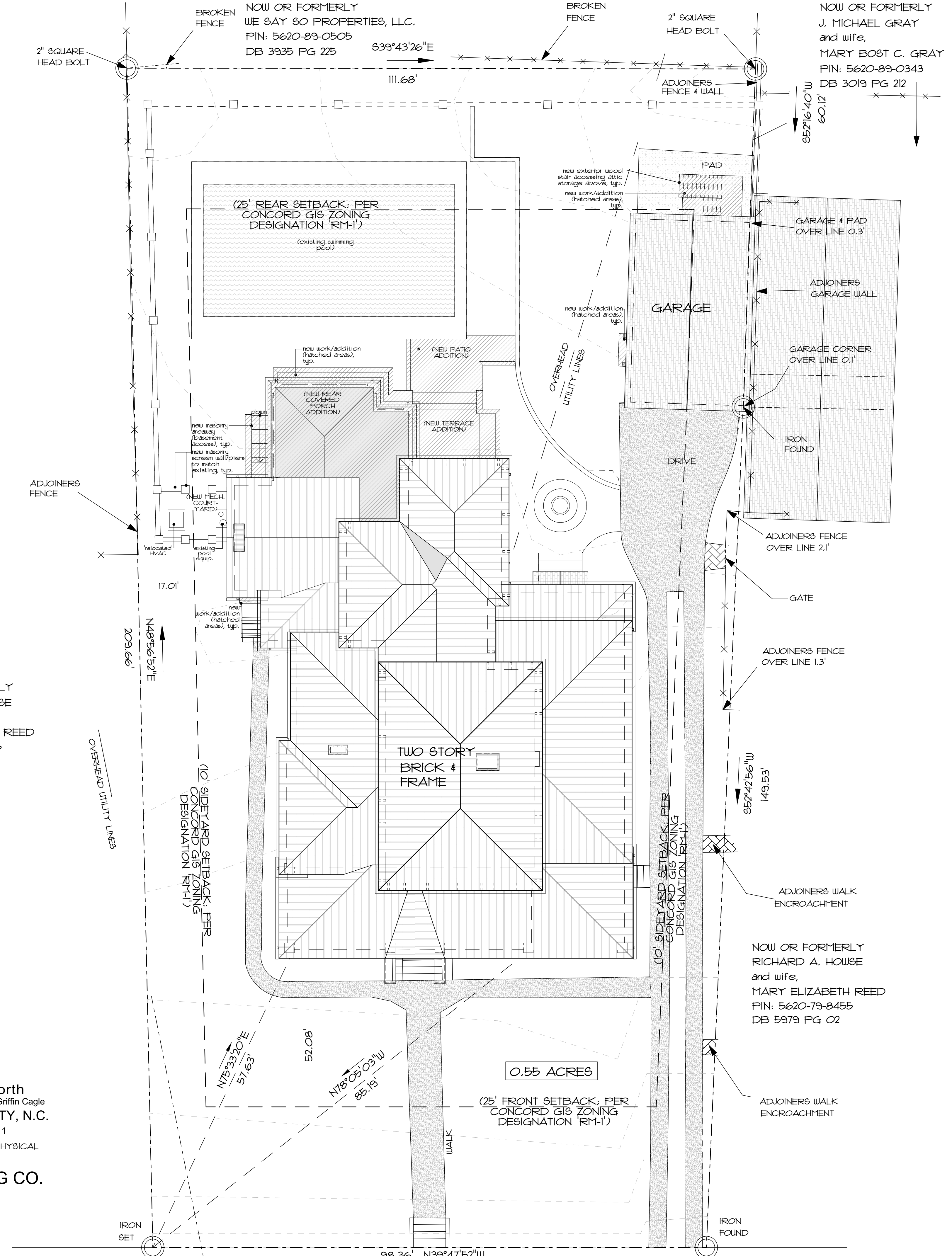
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301 Providence Road

DonDuffy
Architecture

Charlotte, North Carolina 28207

■ Date: 7/17/2019
■ Revisions:
■ Drawn By:
■ Sheet: **CS1.1**
Cagle-GriffinResidence



2" SQUARE HEAD BOLT

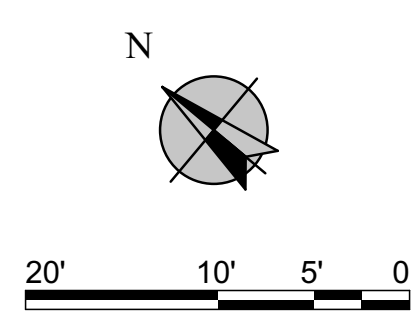
BROKEN FENCE
NOW OR FORMERLY
WE SAY SO PROPERTIES, LLC.
PIN: 5620-89-0505
DB 3935 PG 225

BROKEN FENCE

2" SQUARE HEAD BOLT

NOW OR FORMERLY
J. MICHAEL GRAY
and wife,
MARY BOST C. GRAY
PIN: 5620-89-0343
DB 3019 PG 212

NOW OR FORMERLY
RICHARD A. HOUSE
and wife,
MARY ELIZABETH REED
PIN: 5620-79-8455
DB 5979 PG 02



Copyright 2011
TOPOGRAPHIC SURVEY
122 Union Street, North
Physical Survey For: William J. & Holly Griffin Cagle
CONCORD, UNION COUNTY, N.C.
Date of Survey: March 22, 2011
SITE PLAN DEPICTED FROM PHYSICAL SURVEY BY:
MEDLIN SURVEYING CO.
2915 Stallings Road
Harrisburg, NC 28075
Phone: 704-201-4332

UNION STREET, NORTH
50' PUBLIC R/W

1 SITE PLAN
CV1.1
SCALE: 1" = 10'

Cagle-Griffin Residence

122 Union Street North
Concord, NC

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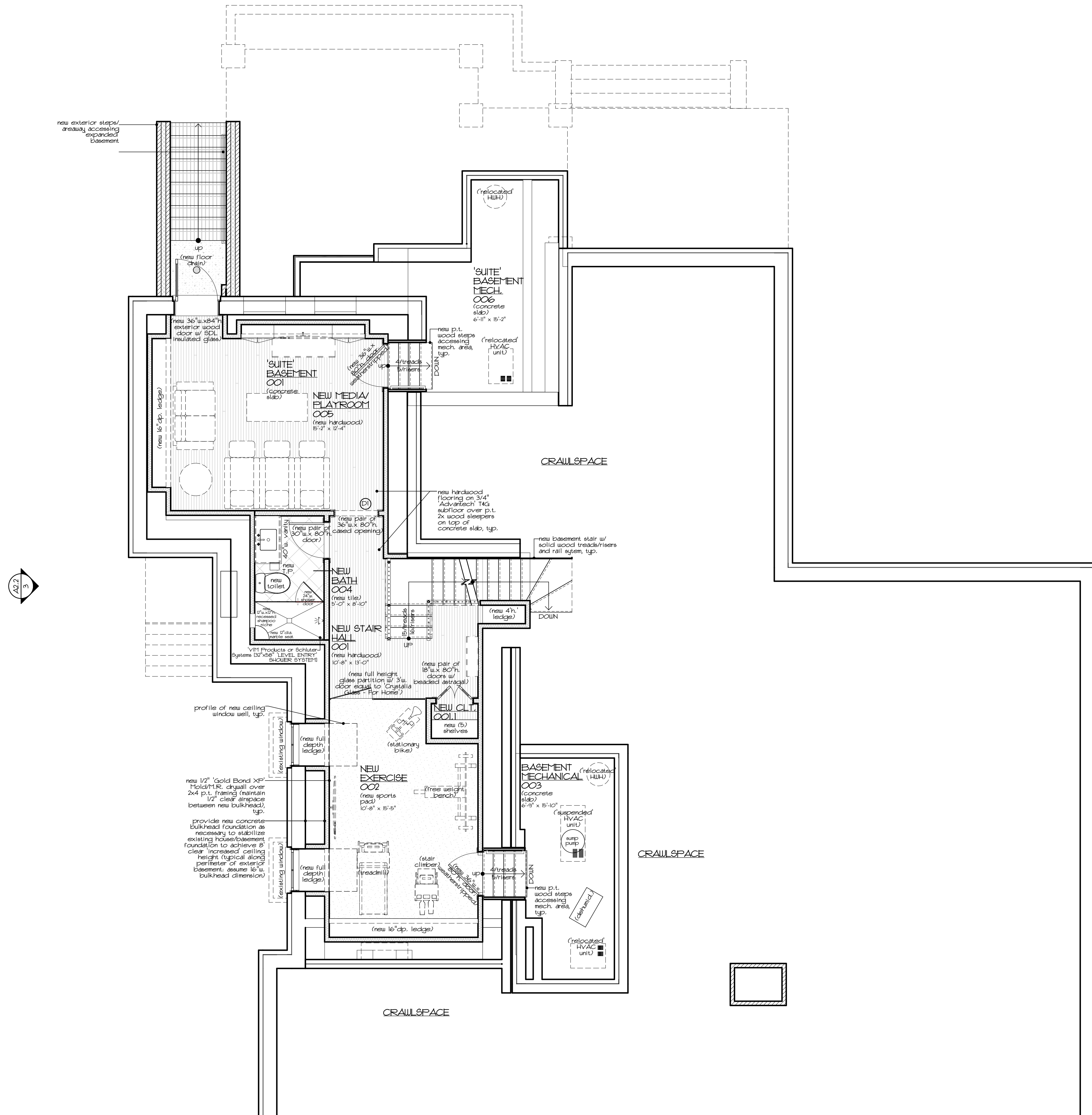
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- Sheet: **CV1.1**
Cagle-Griffin Residence

SQUARE FOOTAGE CALCULATIONS	
- NEW 4 RENOV. BASEMENT FLOOR (HEATED S.F.)	833
- RENOV. BASEMENT FLOOR (UNHTD. S.F.)	382
- NEW AREAWAY BASEMENT FLOOR (UNHTD. S.F.)	74
- RENOV. FIRST FLOOR (HEATED S.F.)	368
- RENOV. FIRST FLOOR (UNHTD. S.F.)	41
- NEW UNDER-ROOF FIRST FLOOR (UNHTD. S.F.)	363
- NEW TERRACE/PATIO FIRST FLOOR (UNHTD. S.F.)	446
- RENOV. FIRST FLOOR GARAGE (UNHTD. S.F.)	668
- NEW EXT. STAIR FIRST FLOOR (UNHTD. S.F.)	88
- TOTAL NEW 4 RENOV. B4I LEVELS (HEATED S.F.)	1201

SQUARE FOOTAGE CALCS TAKEN FROM EXTERIOR FACE OF MASONRY/CONC.

KEY	
	existing backup
	brick veneer
	wall framing construction
	acoust. 10-ft insulation



Cagle-Griffin Residence
 122 Union Street North
 Concord, NC

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 ■ Sheet: **A1.0**
 Cagle-GriffinResidence

Cagle-Griffin Residence

122 Union Street North
Concord, NC

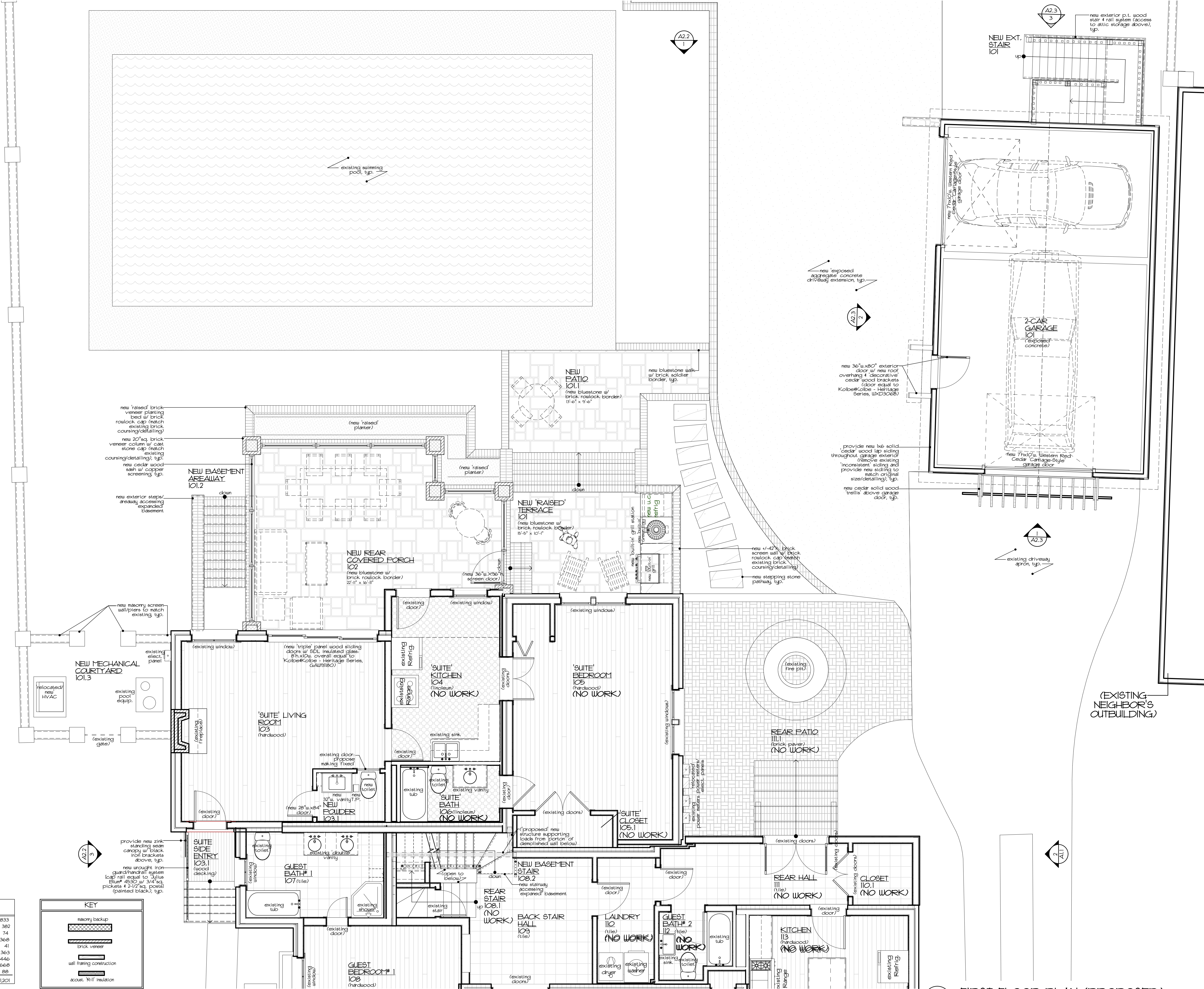
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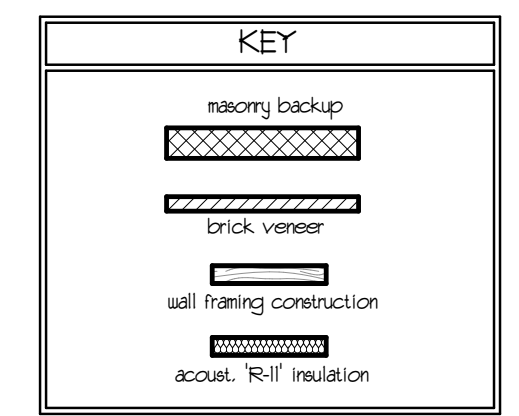
■ Date: 7/17/2019
■ Revisions:
■ Drawn By:
■ Sheet: **A1.1**
Cagle-Griffin Residence



SQUARE FOOTAGE CALCULATIONS

- 'NEW' 4 'RENOV.' BASEMENT FLOOR (HEATED S.F.)	833
- 'RENOV.' BASEMENT FLOOR (UNHTD. S.F.)	382
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- 'RENOV.' FIRST FLOOR 'GARAGE' (UNHTD. S.F.)	668
- 'NEW EXT. STAIR' FIRST FLOOR 'GARAGE' (UNHTD. S.F.)	88
- TOTAL 'NEW' 4 'RENOV.' 'BAI' LEVELS (HEATED S.F.):	1201

(SQUARE FOOTAGE CALCS TAKEN FROM EXTERIOR FACE OF MASONRY/CONC.)



1 FIRST FLOOR PLAN (PROPOSED)
SCALE: 1/4" = 1'-0"

Cagle-Griffin Residence
 122 Union Street North
 Concord, NC

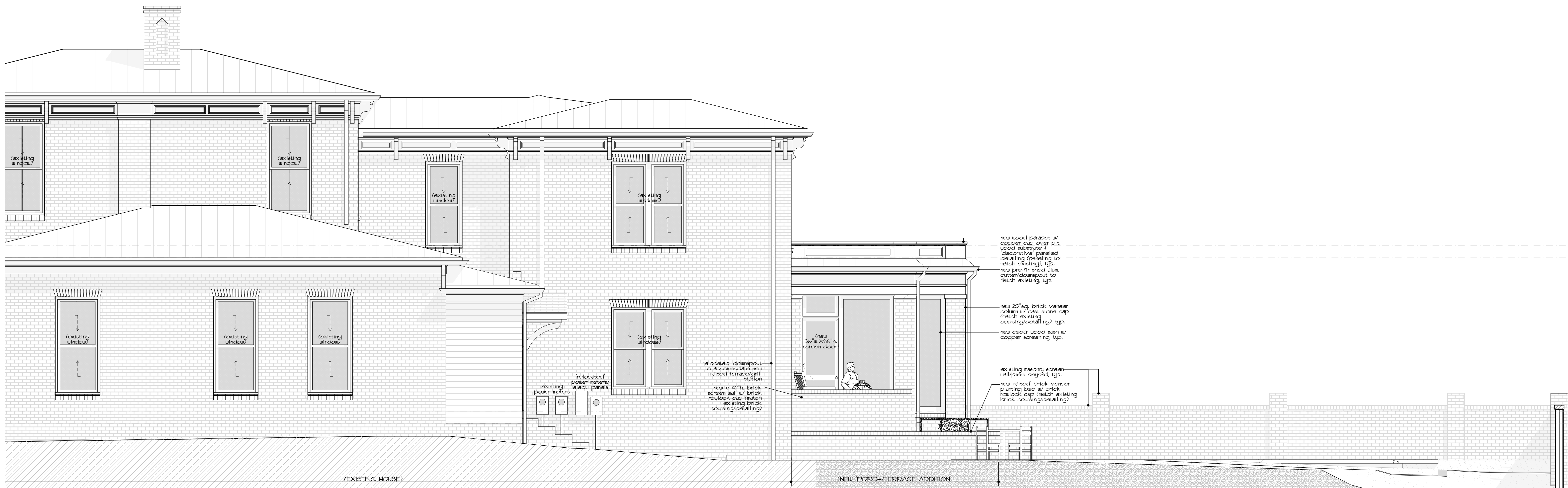
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 ■ Sheet: **A2.1**
 Cagle-Griffin Residence



2
 A2.1 NEW RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



1
 A2.1 NEW FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

Cagle-Griffin Residence
 122 Union Street North
 Concord, NC

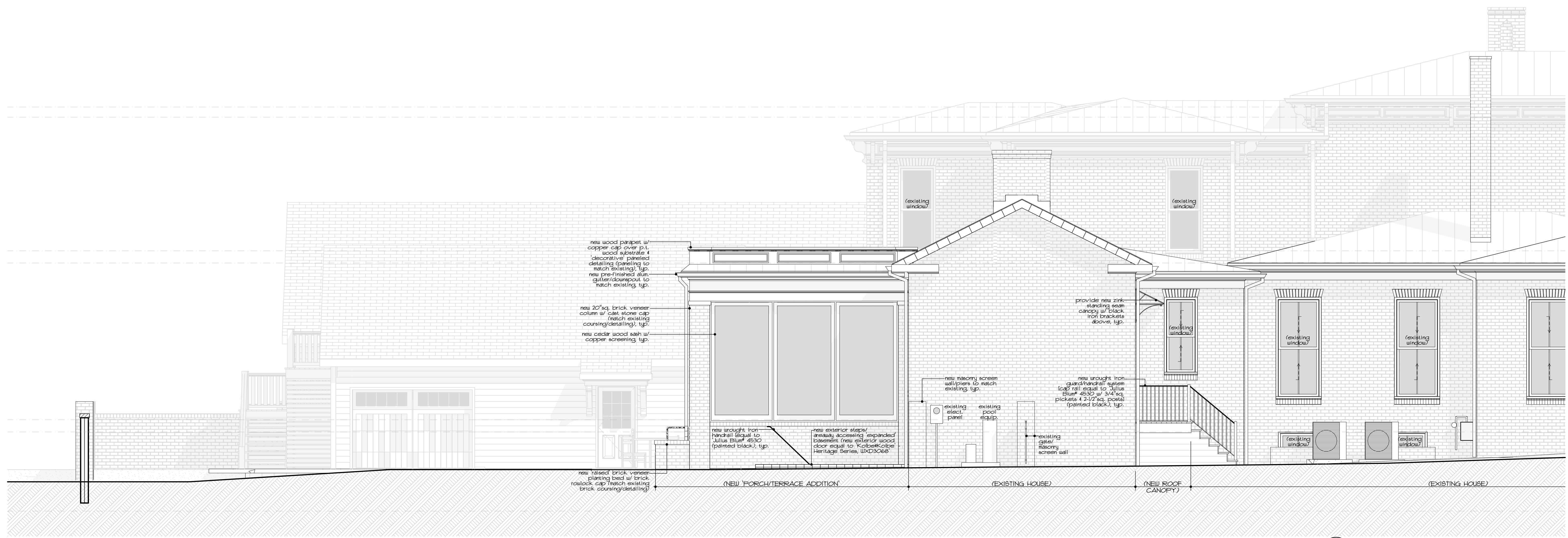
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 Cagle-Griffin Residence



3 NEW LEFT SIDE ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"



2 NEW REAR ELEVATION (HIP OPTION)
 A2.2 SCALE: 1/4" = 1'-0"

1 NEW REAR ELEVATION (PARAPET OPTION)
 A2.2 SCALE: 1/4" = 1'-0"

Cagle-Griffin Residence
 122 Union Street North
 Concord, NC

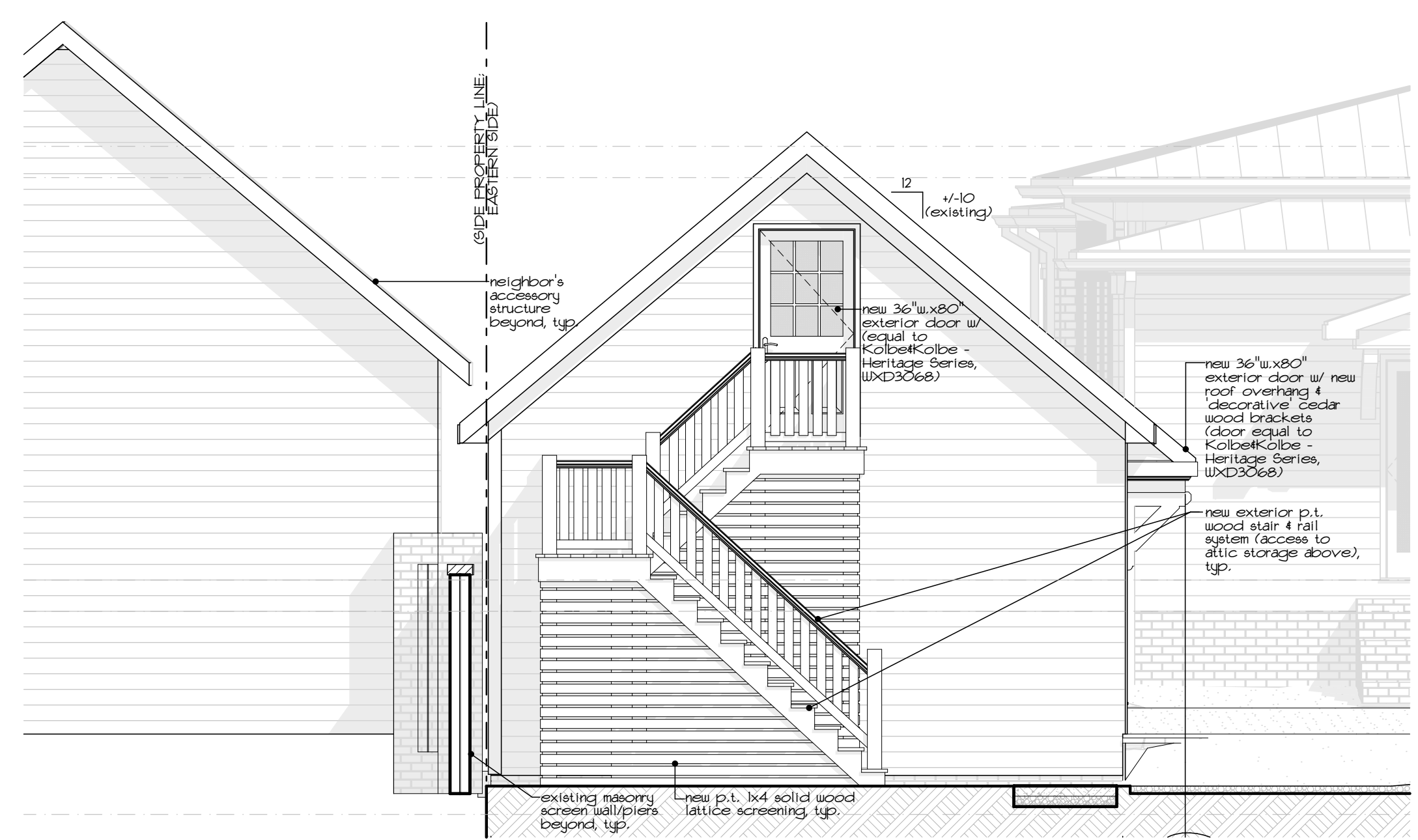
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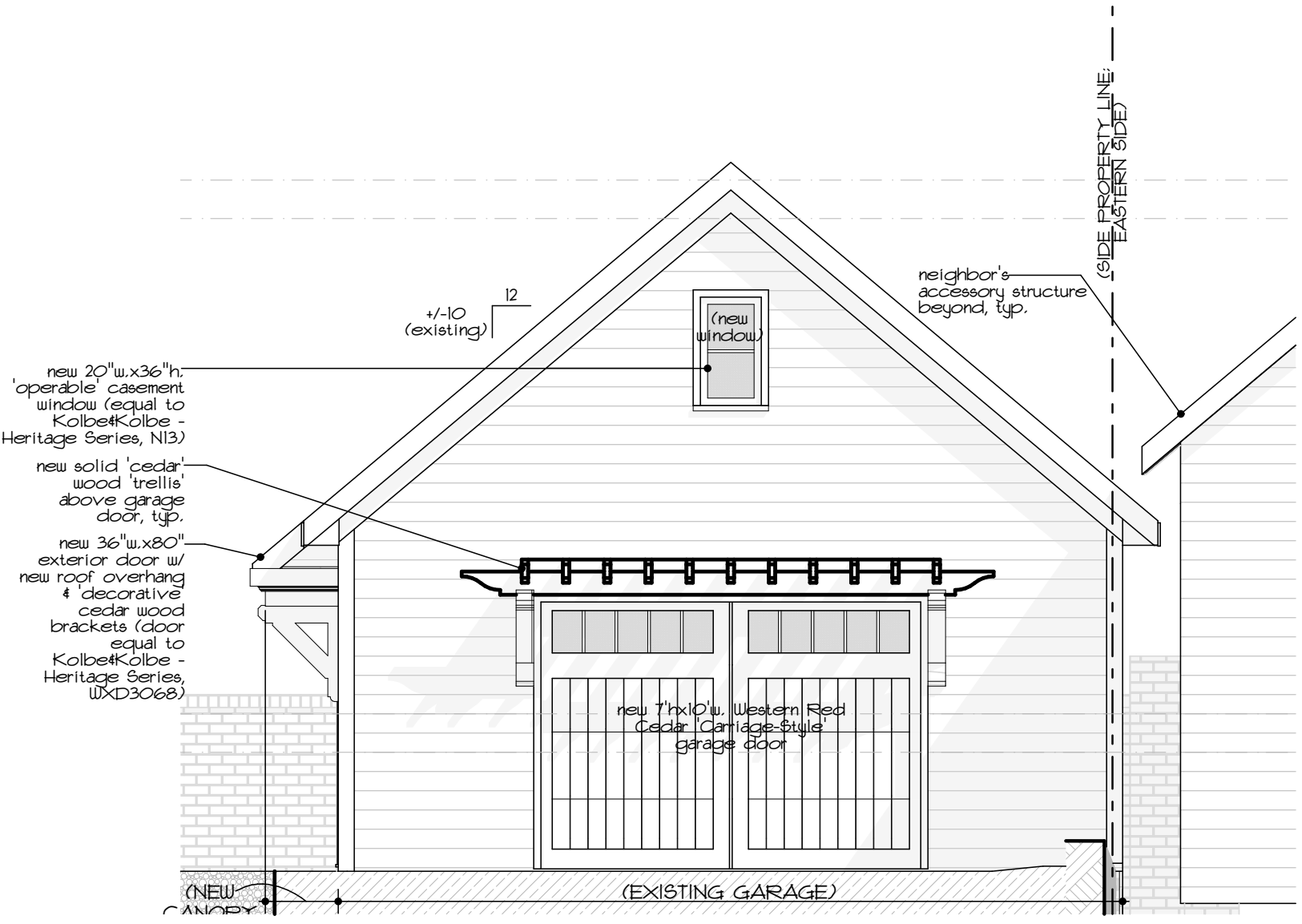
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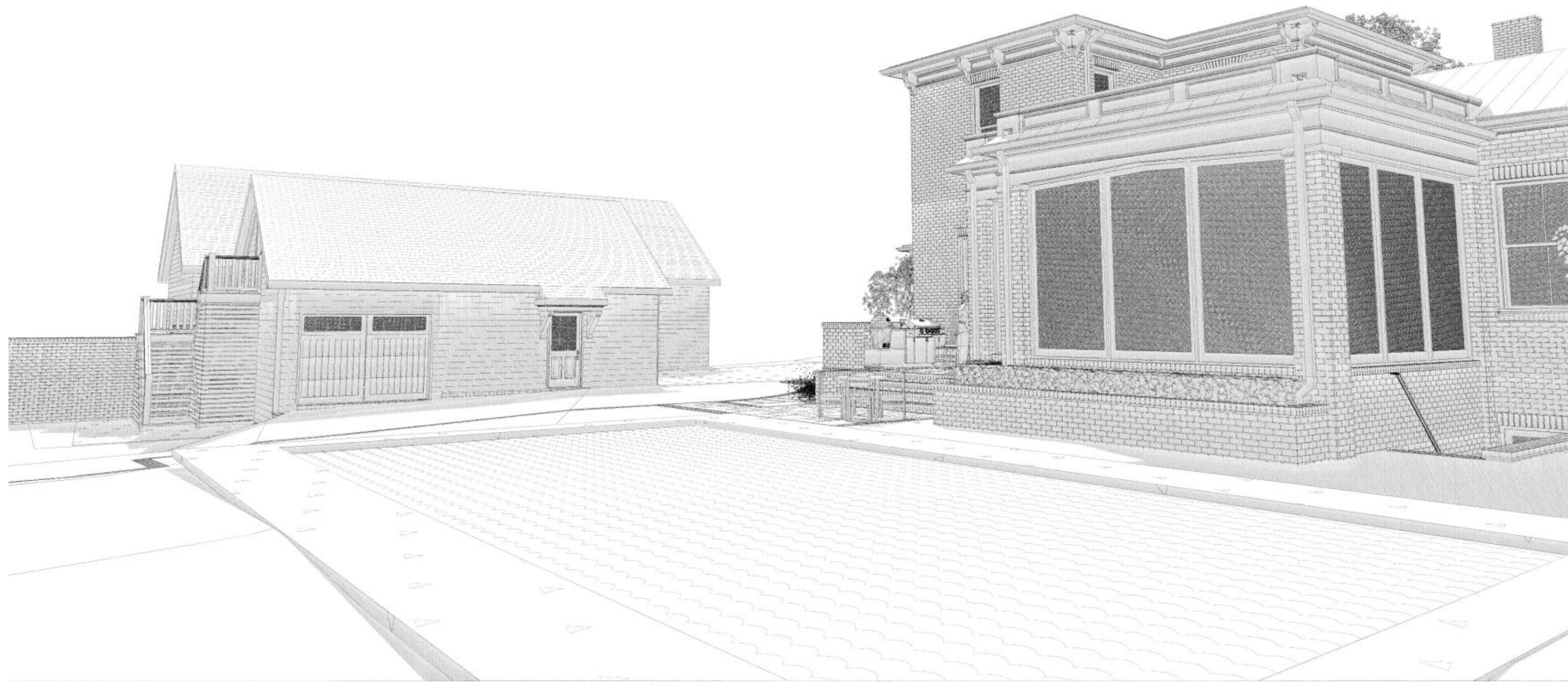
3
 A2.3 **NEW GARAGE REAR ELEVATION**
 SCALE: 1/4" = 1'-0"



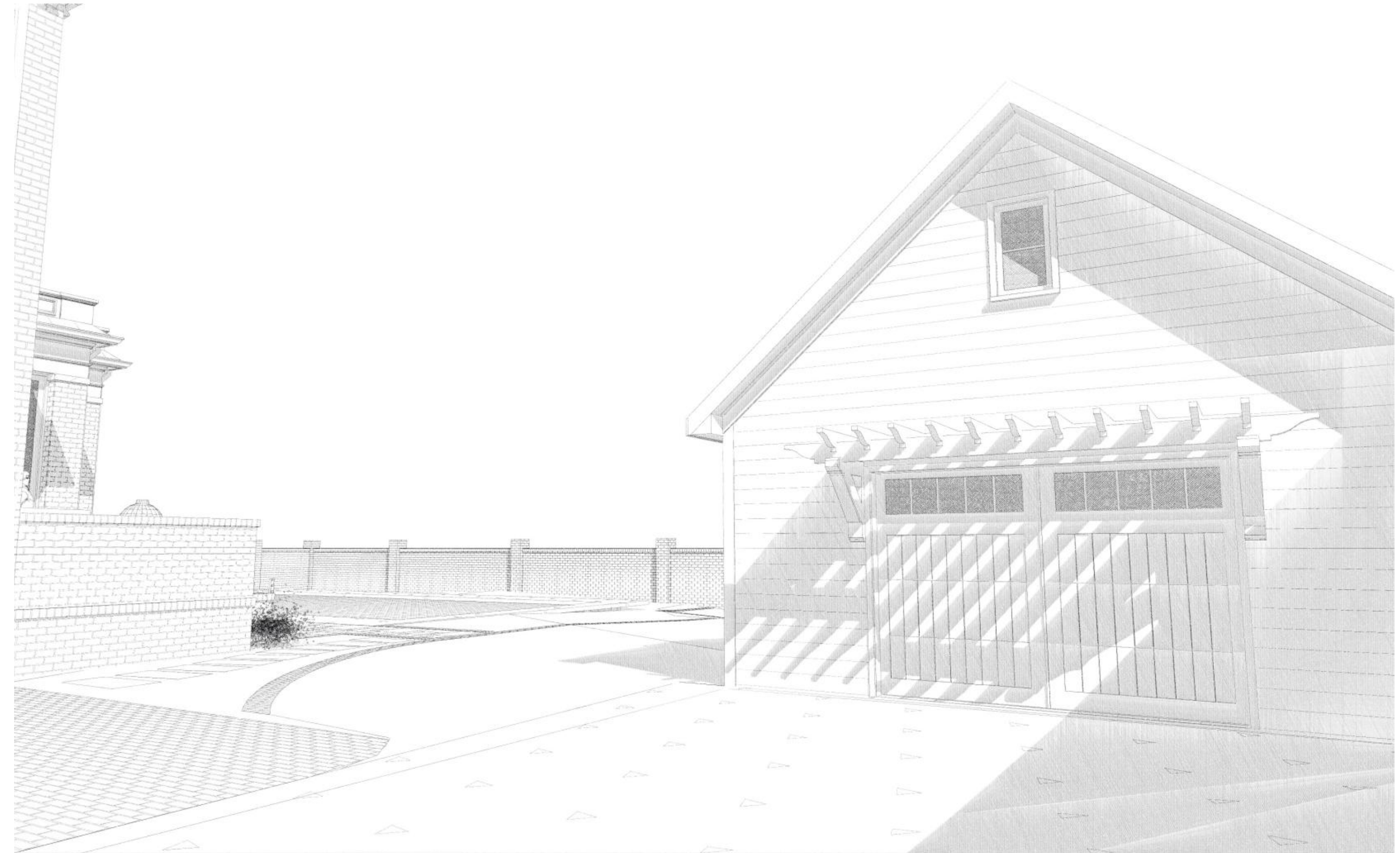
2
 A2.3 **NEW GARAGE LEFT SIDE ELEVATION**
 SCALE: 1/4" = 1'-0"



1
 A2.3 **NEW GARAGE FRONT ELEVATION**
 SCALE: 1/4" = 1'-0"



3 LEFT SIDE GARAGE PERSPECTIVE ('AFTER')
A2.4 NOT TO SCALE



4 FRONT GARAGE PERSPECTIVE ('AFTER')
A2.4 NOT TO SCALE



2 REAR/LEFT HOUSE PERSPECTIVE ('AFTER')
A2.4 NOT TO SCALE



1 REAR/RIGHT HOUSE PERSPECTIVE ('AFTER')
A2.4 NOT TO SCALE

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Neighboring Garage Structure (Existing - 'Before')



Rear Garage Elevation (Existing - 'Before')



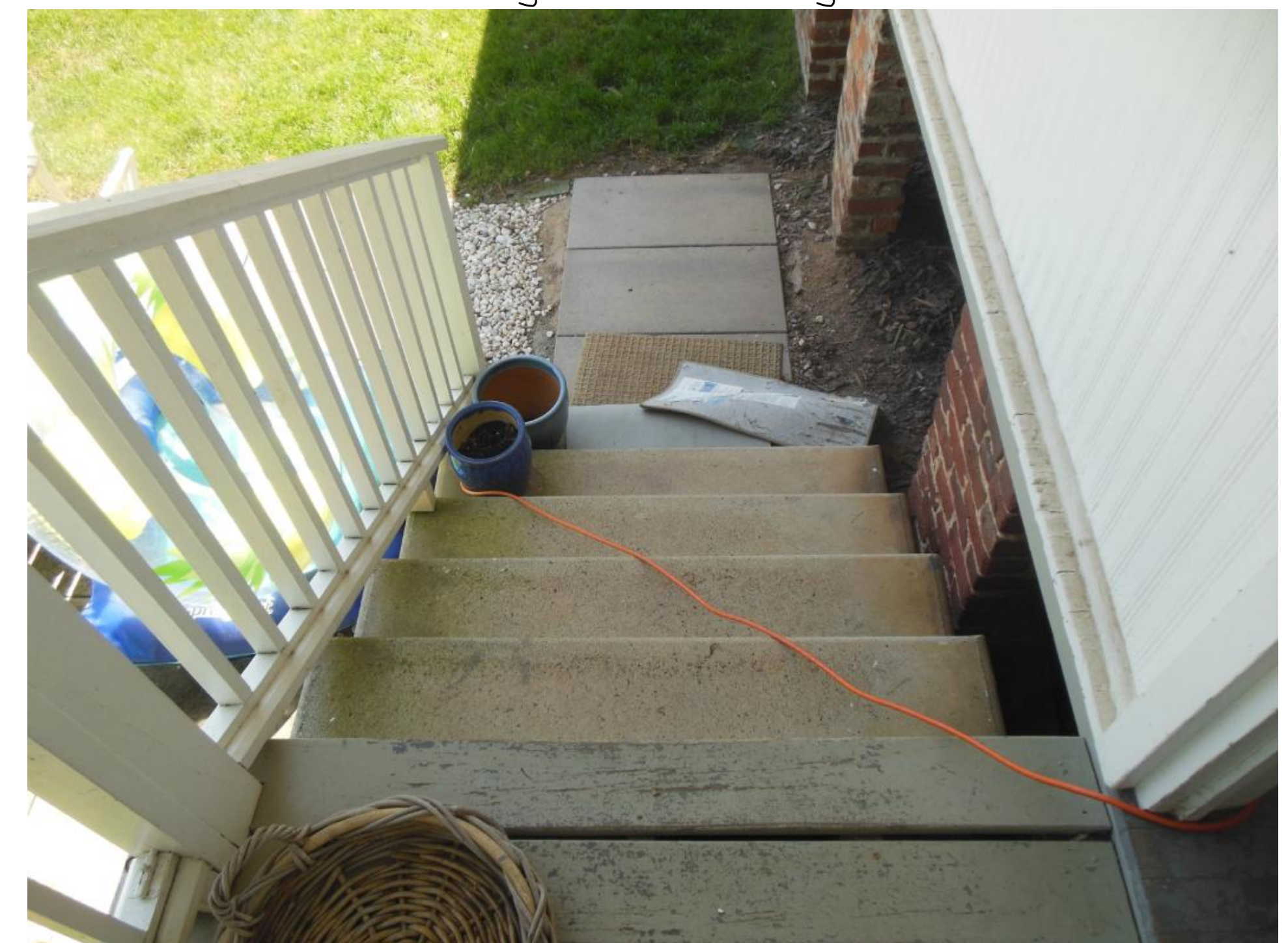
Left Side Garage Elevation (Existing - 'Before')



Front Garage Elevation (Existing - 'Before')



Front House Suite Side Entry (Existing - 'Before')



Rear Porch Steps (Existing - 'To Be Demolished')



Rear Porch (Existing - 'To Be Demolished')



Rear House Elevation (Existing - 'Before')



Front House Elevation (Existing)

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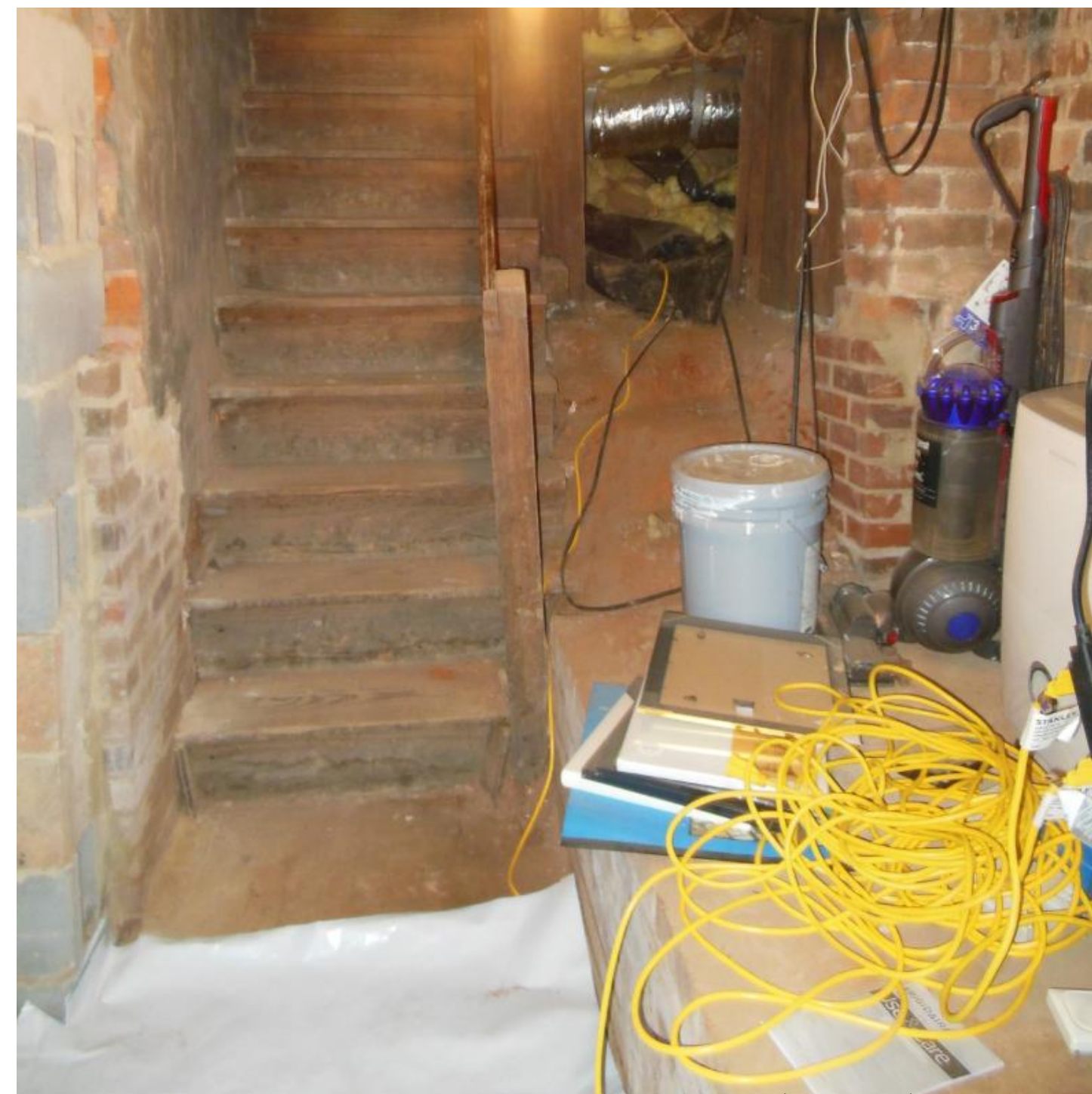
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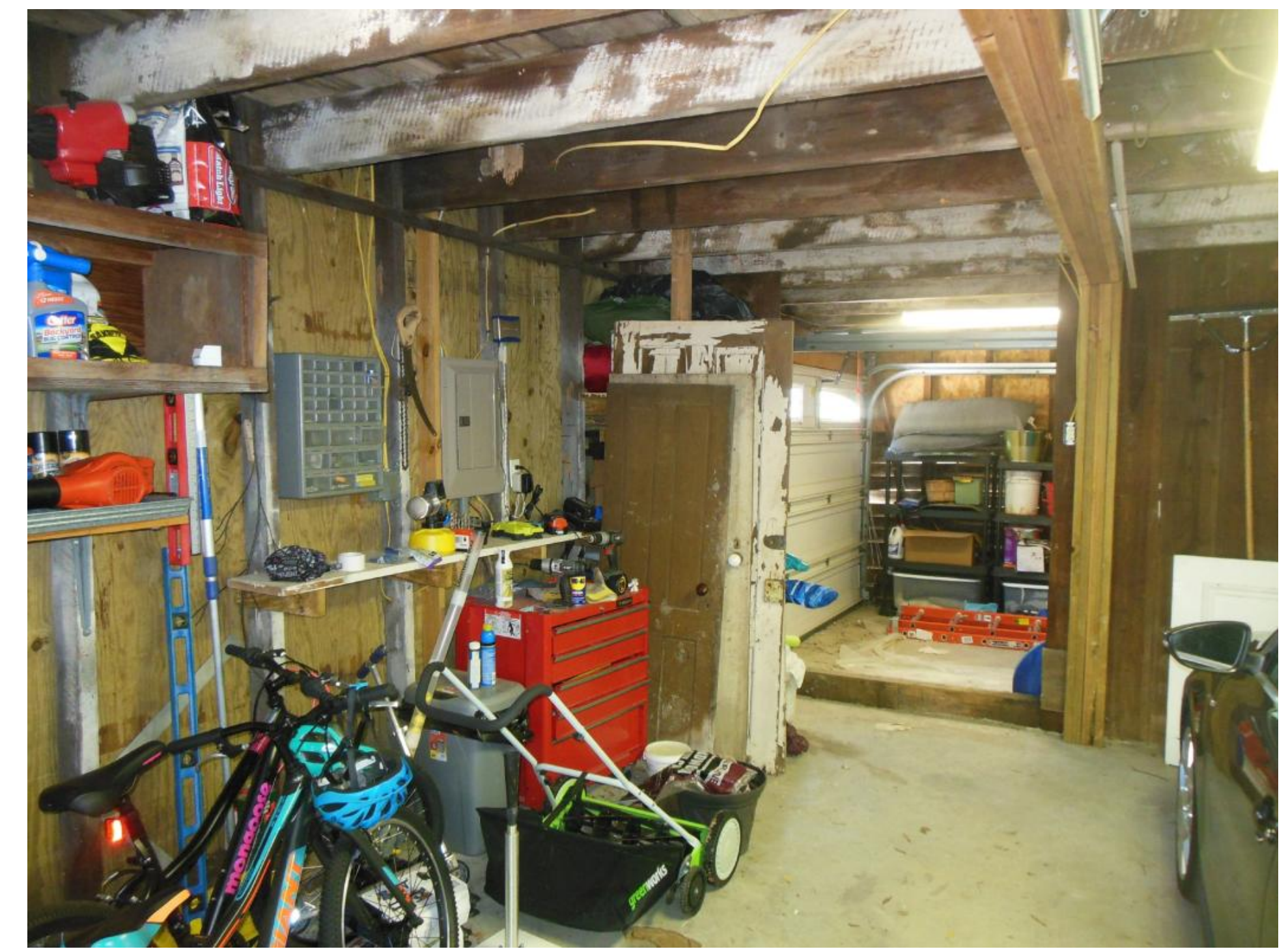
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- Cagle-Griffin Residence



Original House Basement (Existing - 'Before')



Original House Basement (Existing - 'Before')



Garage Interior (Existing - 'Before')



Rear Suite House Basement (Existing - 'Before')



Rear Suite House Basement Access (Existing - 'Before')



Rear House HVAC Unit (Existing - 'To Be Relocated')



Rear Brick Screen Wall Elevation (Existing)

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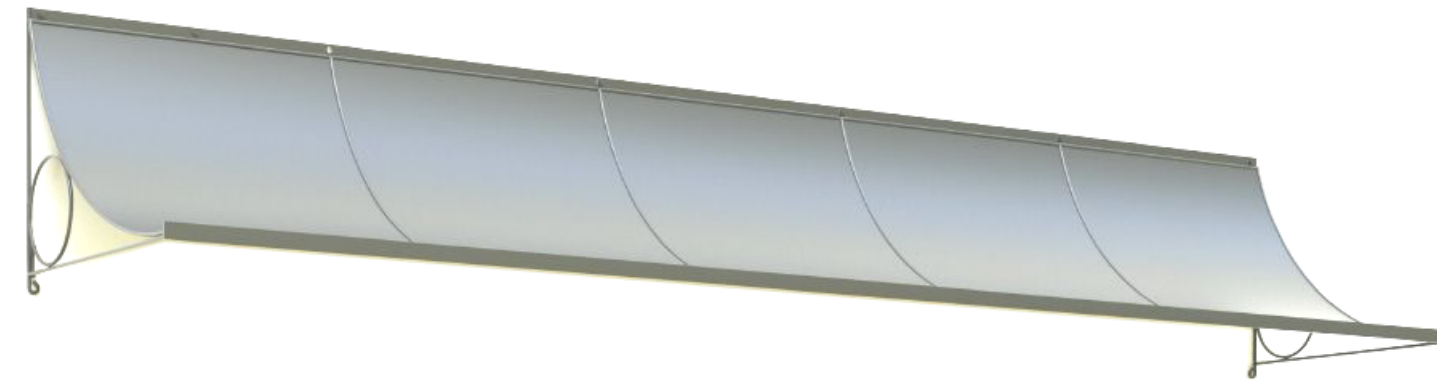
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TPO Roof Membrane Equal to Firestone - UltraPly (New Porch Low-Pitch Roof; White Finish)



Zink Metal Standing Seam Roof Canopy to Match Existing (New Suite Side Entry)



Zink Metal Standing Seam Roof to Match Existing (New Porch Hip Roof)



Asphalt Roof Shingle to Match Existing (Garage)

HERITAGE SERIES | OVERVIEW

The Heritage Series is Kolbe's line of traditional wood windows and doors. This series offers a clean, classic look while having the options for custom colors, finishes, mouldings and everything in between.

Design a custom exterior trim to highlight a set of windows and choose a unique wood species to add warmth to the look of the interior. Add performance divided lites (PDL) or patterned glass to create a contemporary twist on traditional style. Quality workmanship and attention to detail is something that Kolbe® is known for.



Kolbe is committed to designing and constructing the highest quality windows and doors possible, while utilizing our natural resources in a safe and efficient way. Most of our products contain some recycled materials, while we find ways to reuse and recycle items within our company. By using our products with other eco-friendly materials, they in turn can help lead to a greener home or business.

By associating with NFRC, Window and Door Manufacturers Association Hallmark Certification Program and the ENERGY STAR® Program, Kolbe products are built to meet the diverse and expanding needs of residential and commercial fields. Rest assured that Kolbe products are tested in an unbiased manner by independent laboratories and that test data is available to the public. (See Technical Data section on pg. 161.)



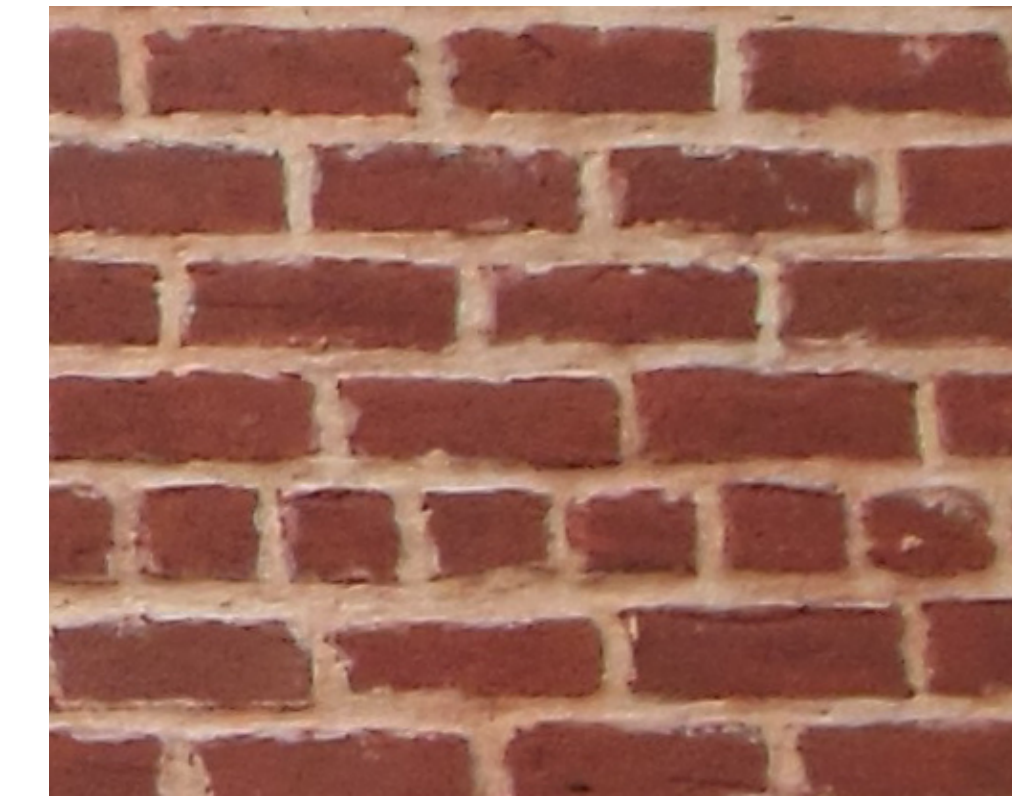
Western Red Cedar Wood Carriage-Style Garage Door (Front & Left Side of Garage)



Cedar wood lap siding to Match Existing (5" exposure)



Cedar Wood Trellis (Front of Garage)



Exterior Brick Veneer to Match Existing (Common Bond)



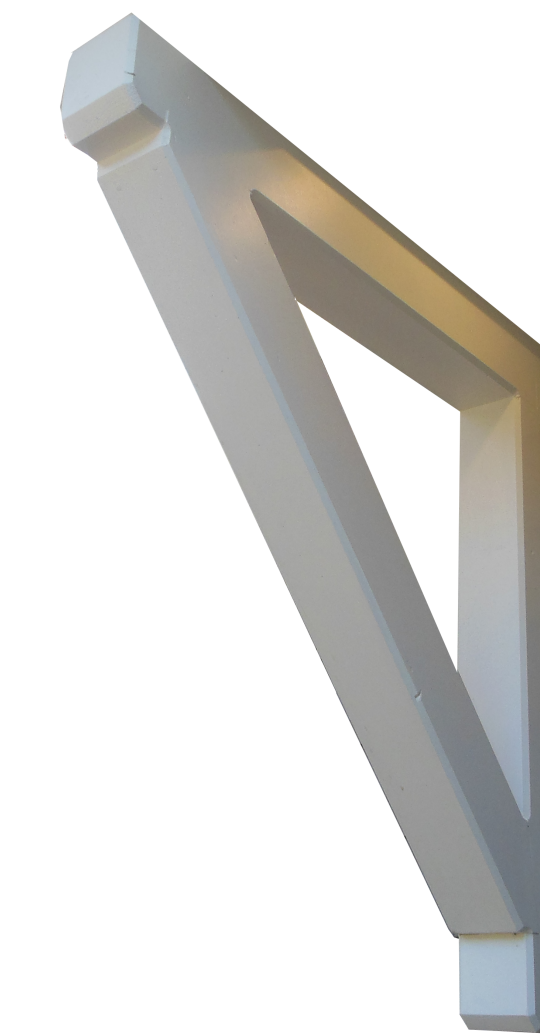
Fiberglass Screening Within Cedar Wood Sash (New Screen Porch Addition)



P.T. Wood Railing & Screening (New Exterior Stair/Landings; Rear of Garage)



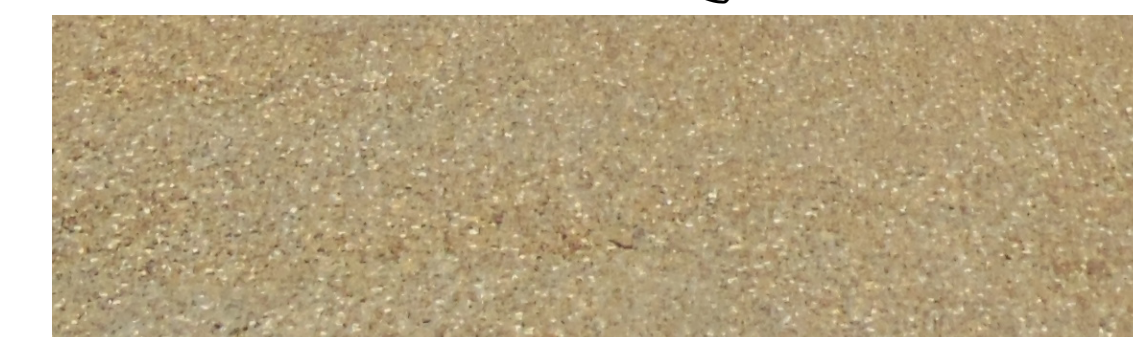
Brick Screen Wall (New Mechanical Areaway Screen Wall/Piers)



'Decorative' Cedar Wood Bracket (New Side Entry Canopy; Left Side of Garage)



Bluestone Paver (Ashlar Pattern; New Covered Porch, Raised Terrace & Patio)



'Exposed' Aggregate Concrete (New Motor Court; Left Side of Garage)

Cagle-Griffin Residence
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Cagle-Griffin Residence

July 17, 2019

Cagle Residence

(122 Union Street North Concord, North Carolina)

Concord Historic Preservation Commission ‘Certificate of Appropriateness’; Attachment# 6

Detailed List of Materials (Refer to attached materials board and design drawings for additional information)

- New roofing:
 - Zink metal standing seam to match existing.
 - Asphalt shingle roofing to match existing.
 - TPO membrane roofing equal to ‘Firestone – Ultraply’ at low-pitch porch roof.

- New gutters/downspouts:
 - Pre-finished aluminum to match existing finish/detailing.

- New exterior cladding:
 - Brick veneer to match existing (common bond).
 - Cast stone column caps to match existing.
 - Cedar wood siding and corner boards (5” exposure to match existing).
 - Fiberglass screening with cedar wood sash.

- New exterior trim work and stair:
 - Cedar wood trim/boxing/entablature/accents to match existing.
 - Cedar wood clad parapet.
 - Cedar wood trellis.
 - Cedar wood ‘decorative’ bracket.
 - Pressure-treated wood exterior stair, railing system and 1x4 horizontal slat screening.

- New windows/exterior doors:
 - ‘Kolbe & Kolbe – Heritage Series’ wood insulated glass windows and doors with simulated divided lite muntins (match existing detailing).
 - Western red cedar ‘carriage-style’ garage doors.

- New landscape features:
 - Brick screen wall/piers to match existing (coursing/detailing).
 - Exposed aggregate concrete driveway/motor court.
 - Bluestone pavers (ashlar pattern) with brick rowlock border.
 - Bluestone stepping stones.

- New Miscellaneous
 - Solar panels equal to ‘Tesla’ or LG-NeOn’.
 - Wrought iron guard/handrail system (cap rail equal to ‘Julius Blum# 4530, ¾” square pickets and 2-1/2” square posts); black finish, typ.

